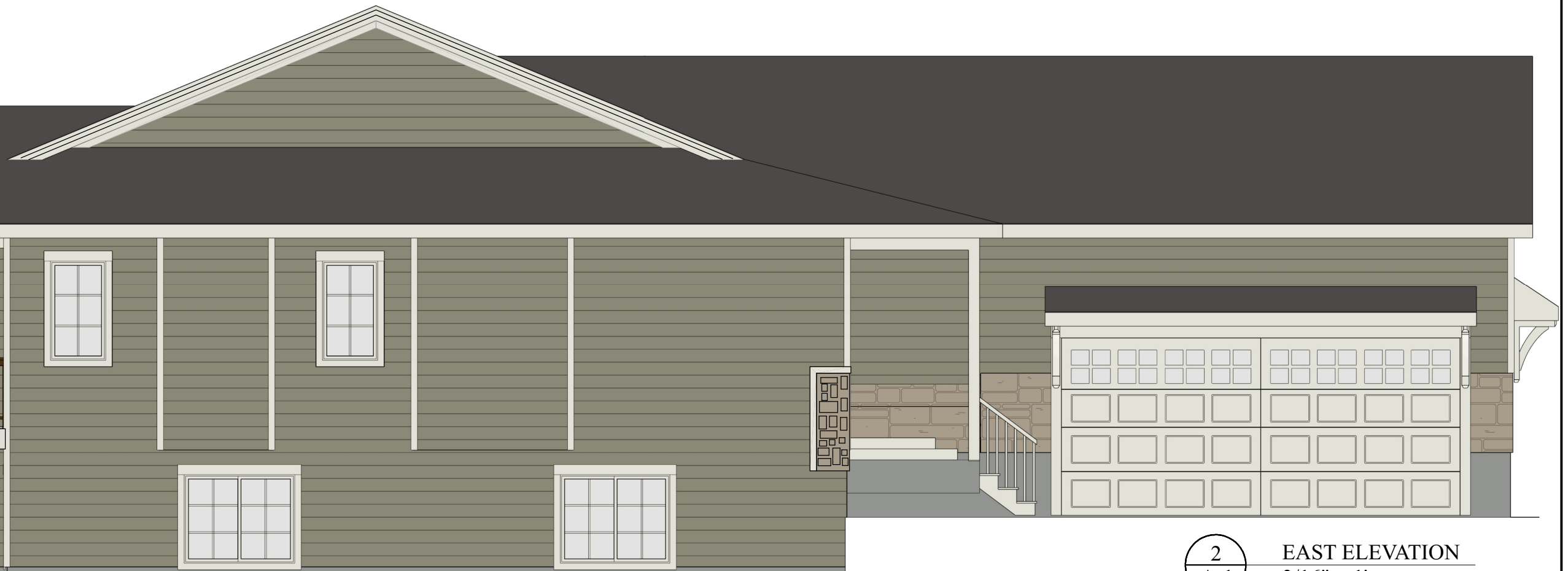
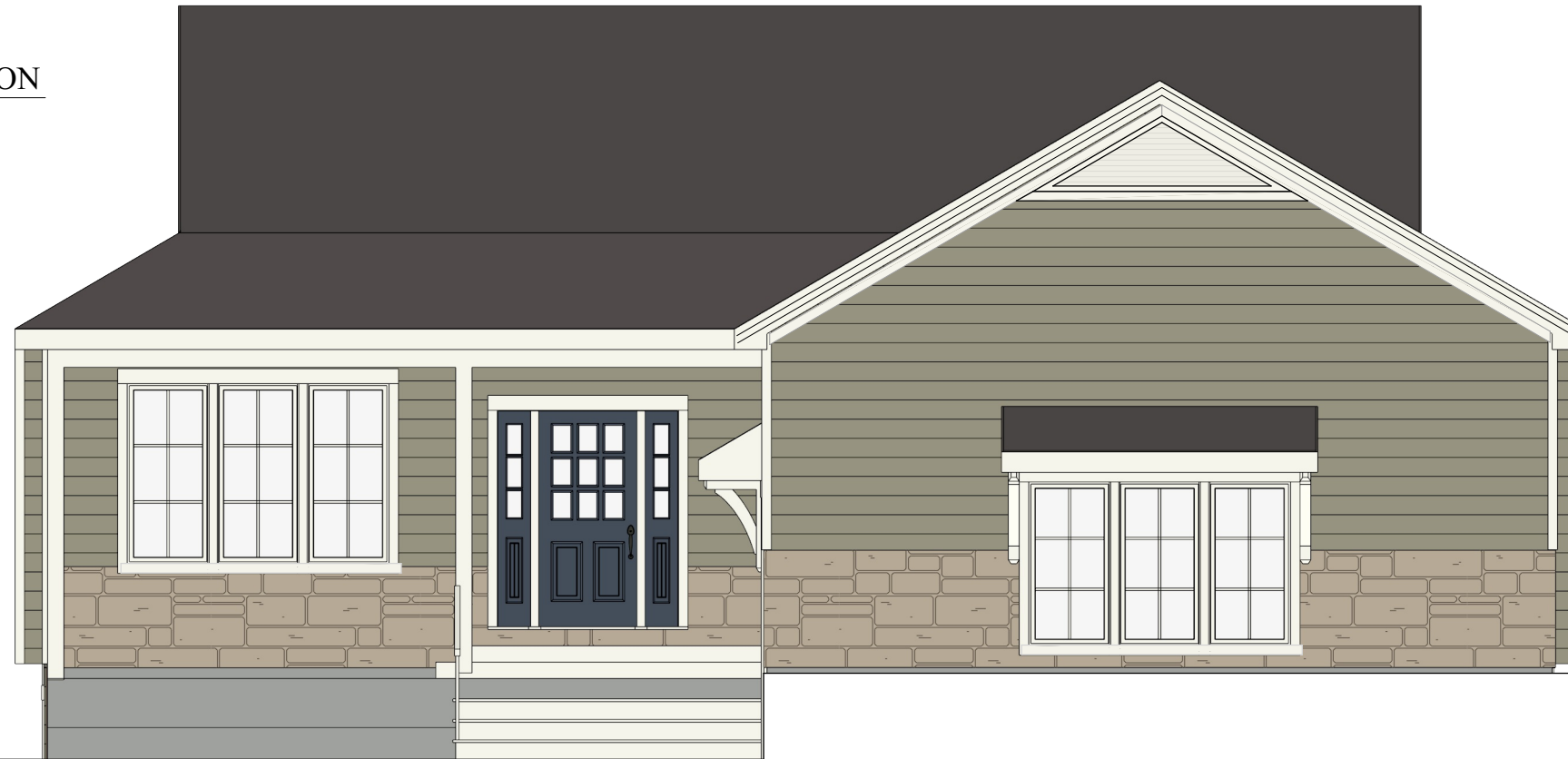


1
A-1

NORTH ELEVATION
3/16" = 1'



2
A-1

EAST ELEVATION
3/16" = 1'

MINNIS BUILDING & DESIGN CO.

7 E 8TH STREET
LAWRENCE, KS
66044

PROJECT ADDRESS:

5105 PARKER CT
LAWRENCE, KS
66049

ELEVATIONS

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REVISION DATE:
3/23/2026

1
A-2

SOUTH ELEVATION
3/16" = 1'



2
A-2

WEST ELEVATION
3/16" = 1'



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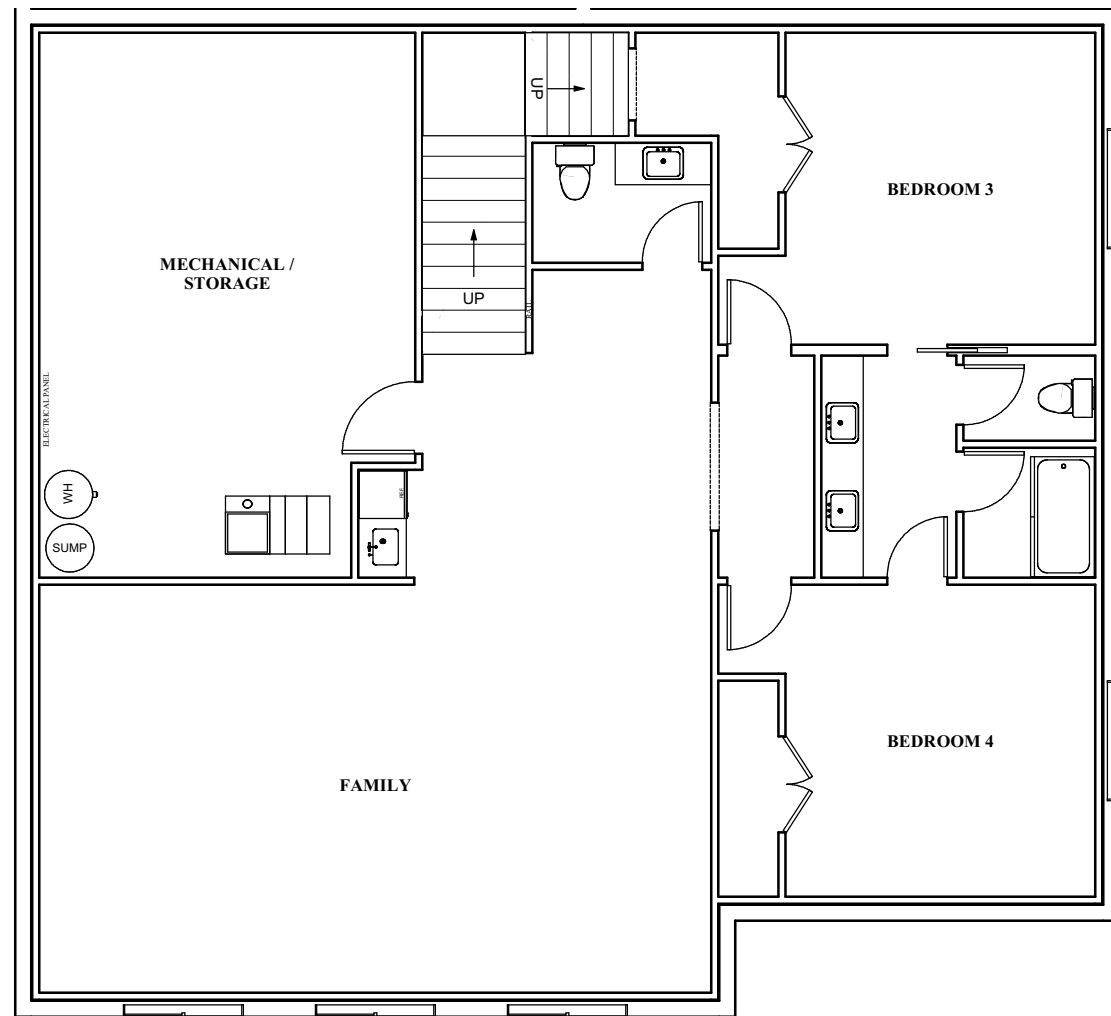
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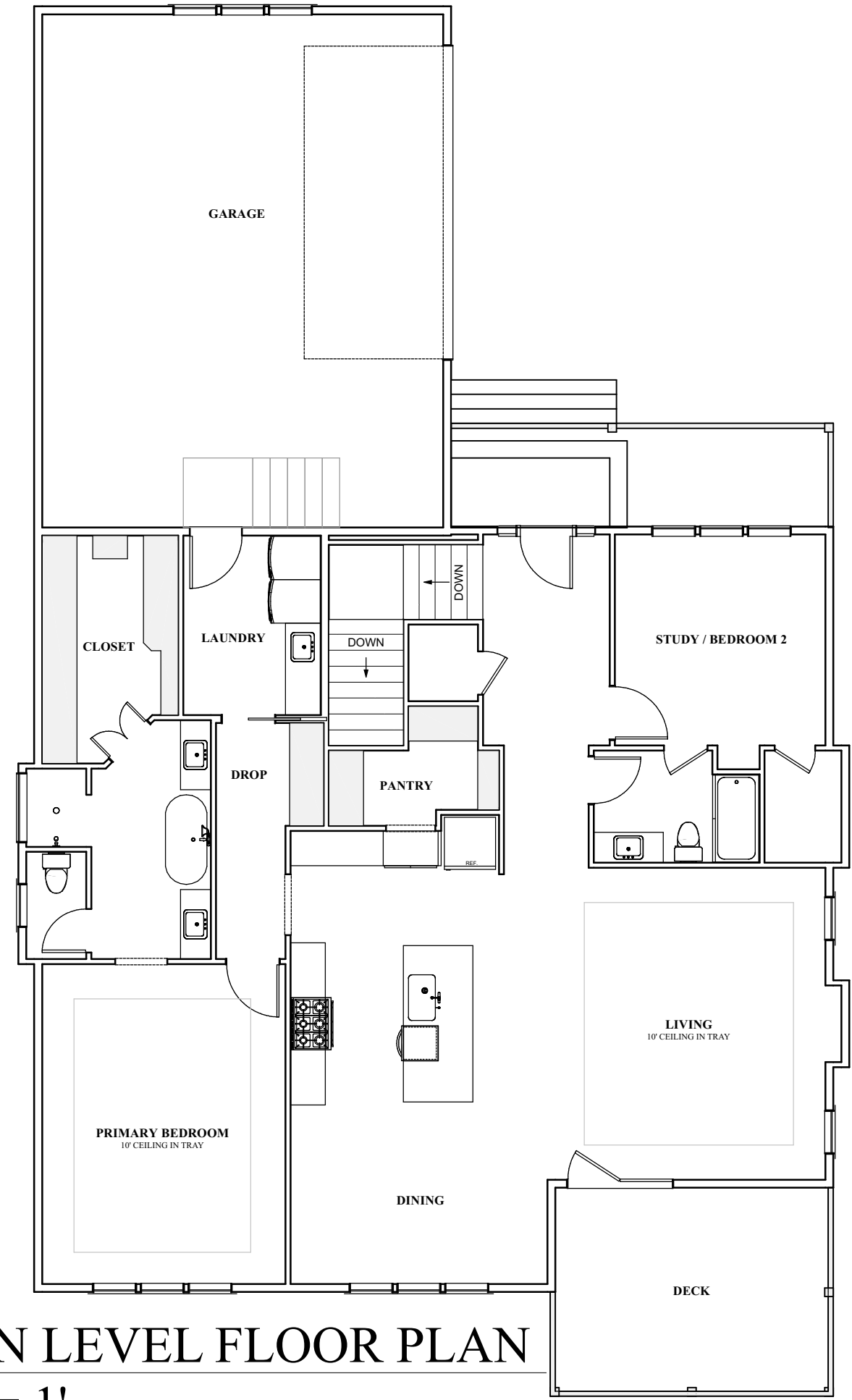
A-2

SQUARE FOOTAGES

Main Level	1,916
Lower Level Finish	1,306
Lower Level Unfinish	368
Total Finished	3,222
Garage	720
Covered Porch (North)	72
Covered Deck (South)	168
Lot	11,554



FOUNDATION
1/8" = 1'



MAIN LEVEL FLOOR PLAN
1/8" = 1'

RESIDENTIAL SITE PLAN

5105 PARKER COURT
LAWRENCE, KS 66049

PROPERTY SURFACE SUMMARY	
New Construction - No Existing Improvements	
TOTAL BUILDING (Including covered porches & garage)	2,972 SF
TOTAL PAVEMENT (Not covered - patios, driveway, sidewalks)	1,025 SF
TOTAL IMPERVIOUS	3,997 SF
TOTAL PERVIOUS	7,557 SF
TOTAL LOT (.265 ACRE)	11,554 SF
PERCENTAGE OF IMPERVIOUS SURFACE/LOT	35%



LEGAL DESCRIPTION
BLOCK 1, LOT 4, WESTWOOD HILLS 10th PLAT
A SUBDIVISION IN THE CITY OF
LAWRENCE, DOUGLAS COUNTY, KANSAS.

1
SP

SITE PLAN
1/16" = 1'

LEGEND

- R/W RIGHT OF WAY
- U/E UTILITY EASEMENT
- D/E DRAINAGE EASEMENT
- L/E LANDSCAPE EASEMENT
- P/E PEDESTRIAN EASEMENT
- BSB BUILDING SETBACK

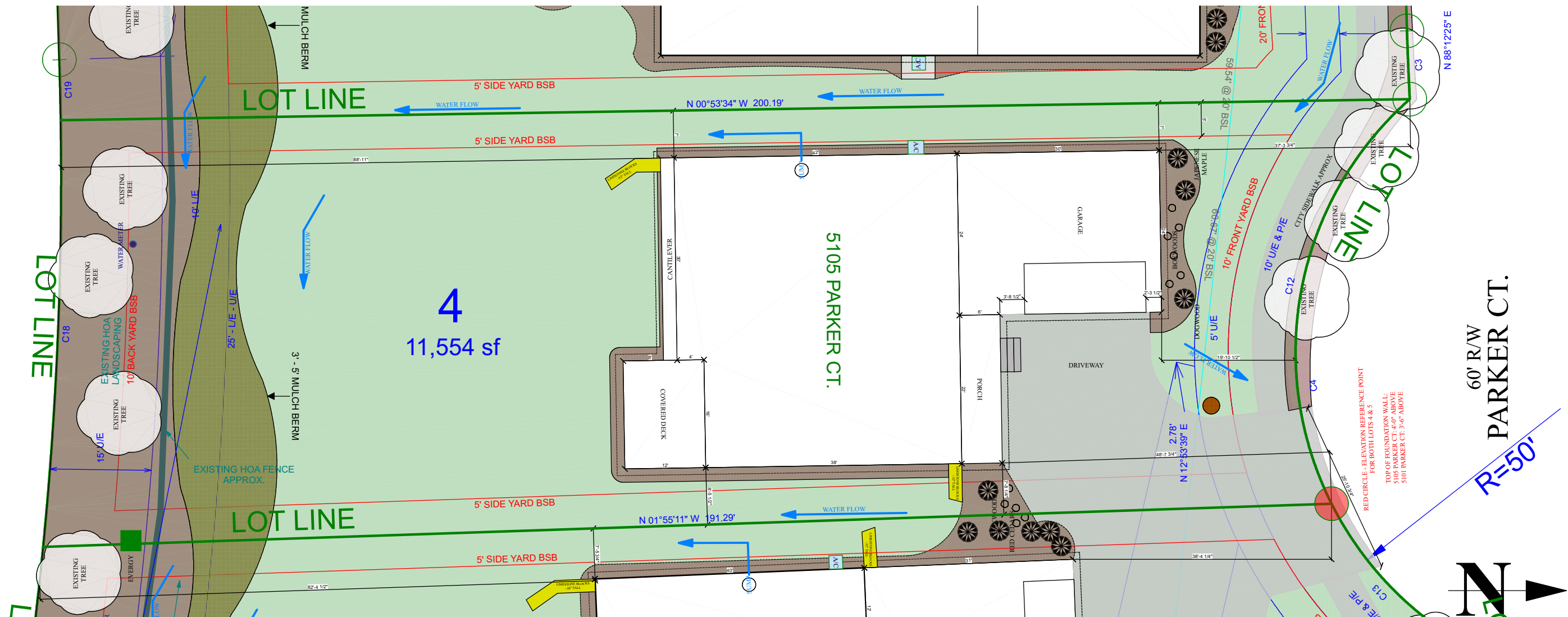
EXISTING CURB CUT & APRON -
The driveway apron and curb cut
configuration is existing and shall NOT
meet city standards per section 16-302.1.

The driveway surface shall meet city
standards per section 20-908(d) of the
City of Lawrence Code. (A) 4"
reinforced Portland cement concrete.

REQUIRED STREET TREES EXISTING TREES ON PROPERTY

Street trees are required along Parker Ct. and street trees are required along Wakarusa. The city is hereby granted a temporary right of entry to plant the required street trees pursuant to Section 20-811(g)(4) of the city subdivision regulations.

80' R/W
WAKARUSA DR.



60' R/W
PARKER CT.
R=50'



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SITE PLAN

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SP