

1
A-1

NORTH ELEVATION

3/16" = 1'



2
A-1

EAST ELEVATION

3/16" = 1'

MINNIS BUILDING & DESIGN CO.

7 E 8TH STREET
LAWRENCE, KS
66044

PROJECT ADDRESS:

5101 PARKER CT
LAWRENCE, KS
66049

ELEVATIONS

THIS DRAWING IS
COPYRIGHTED WORK BY
MINNIS BUILDING &
DESIGN CO., LLC. THIS
DRAWING MAY NOT BE
PHOTOCOPIED,
TRACED OR COPIED IN
ANY MANNER WITHOUT
THE WRITTEN
PERMISSION OF MINNIS
BUILDING & DESIGN CO.,
LLC.

NOTE: ALL FLOOR
PLANS, DIMENSIONS,
AND RENDERINGS ARE
APPROXIMATE FOR
MARKETING PURPOSES
ONLY - BUILDER
ASSUMES NO
RESPONSIBILITY FOR
DIFFERENCES OF
ACTUAL AS BUILT
HOUSE.

REVISION DATE:
3/26/2026

1
A-2

SOUTH ELEVATION
3/16" = 1'



2
A-2

WEST ELEVATION
3/16" = 1'



MINNIS
BUILDING &
DESIGN CO.

7 E 8TH STREET
LAWRENCE, KS
66044

PROJECT
ADDRESS:

5101 PARKER CT
LAWRENCE, KS
66049

ELEVATIONS

THIS DRAWING IS
COPYRIGHTED WORK BY
MINNIS BUILDING &
DESIGN CO., L.L.C. THIS
DRAWING MAY NOT BE
PHOTOKRAPHED,
TRACED OR COPIED IN
ANY MANNER WITHOUT
THE WRITTEN
PERMISSION OF MINNIS
BUILDING & DESIGN CO.,
L.L.C.

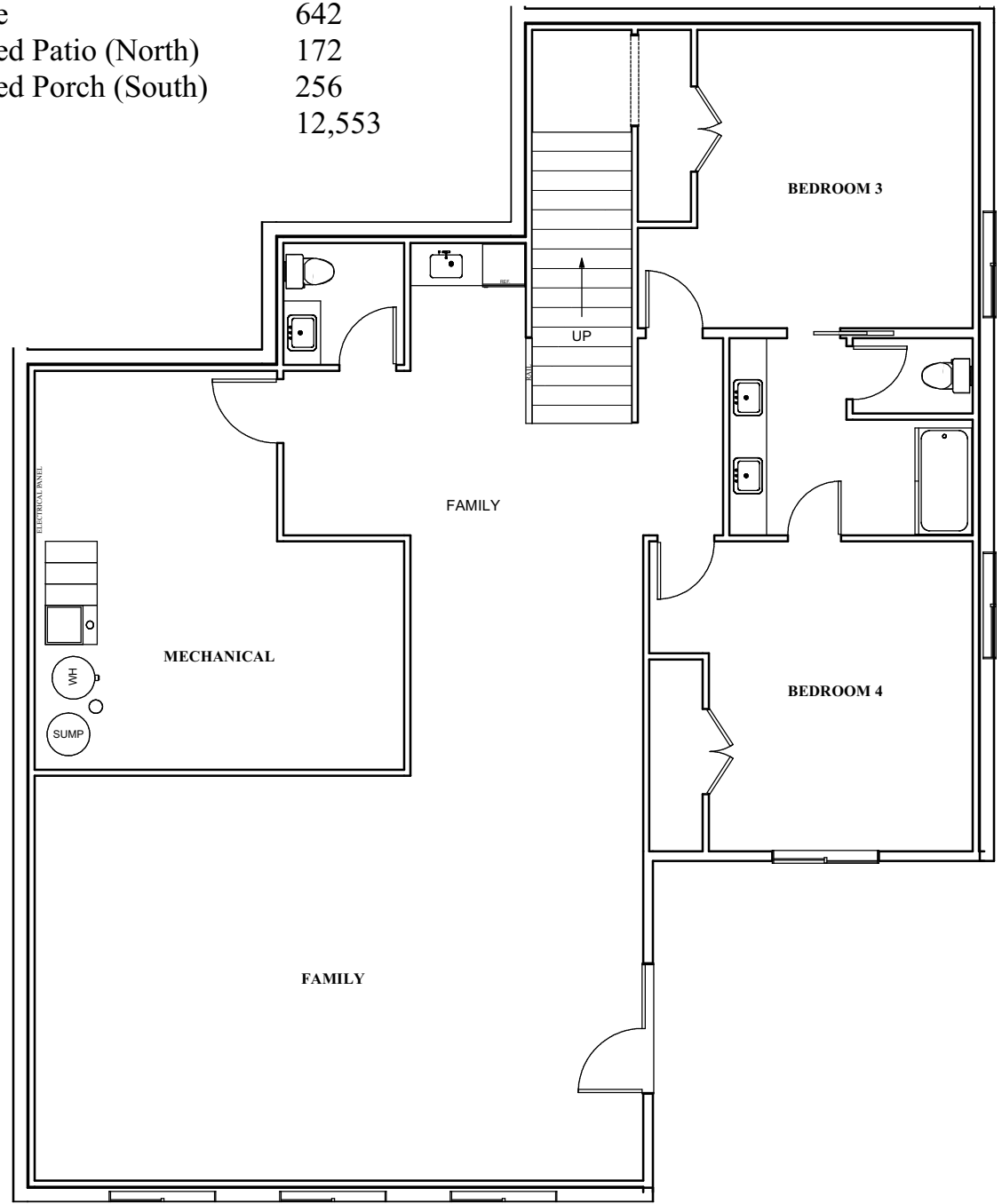
NOTE: ALL FLOOR
PLANS, DIMENSIONS,
AND RENDERINGS ARE
APPROXIMATE FOR
MARKETING PURPOSES
ONLY - BUILDER
ASSUMES NO
RESPONSIBILITY FOR
DIFFERENCES OF
ACTUAL AS BUILT
HOUSE.

REVISION DATE:
3/26/2026

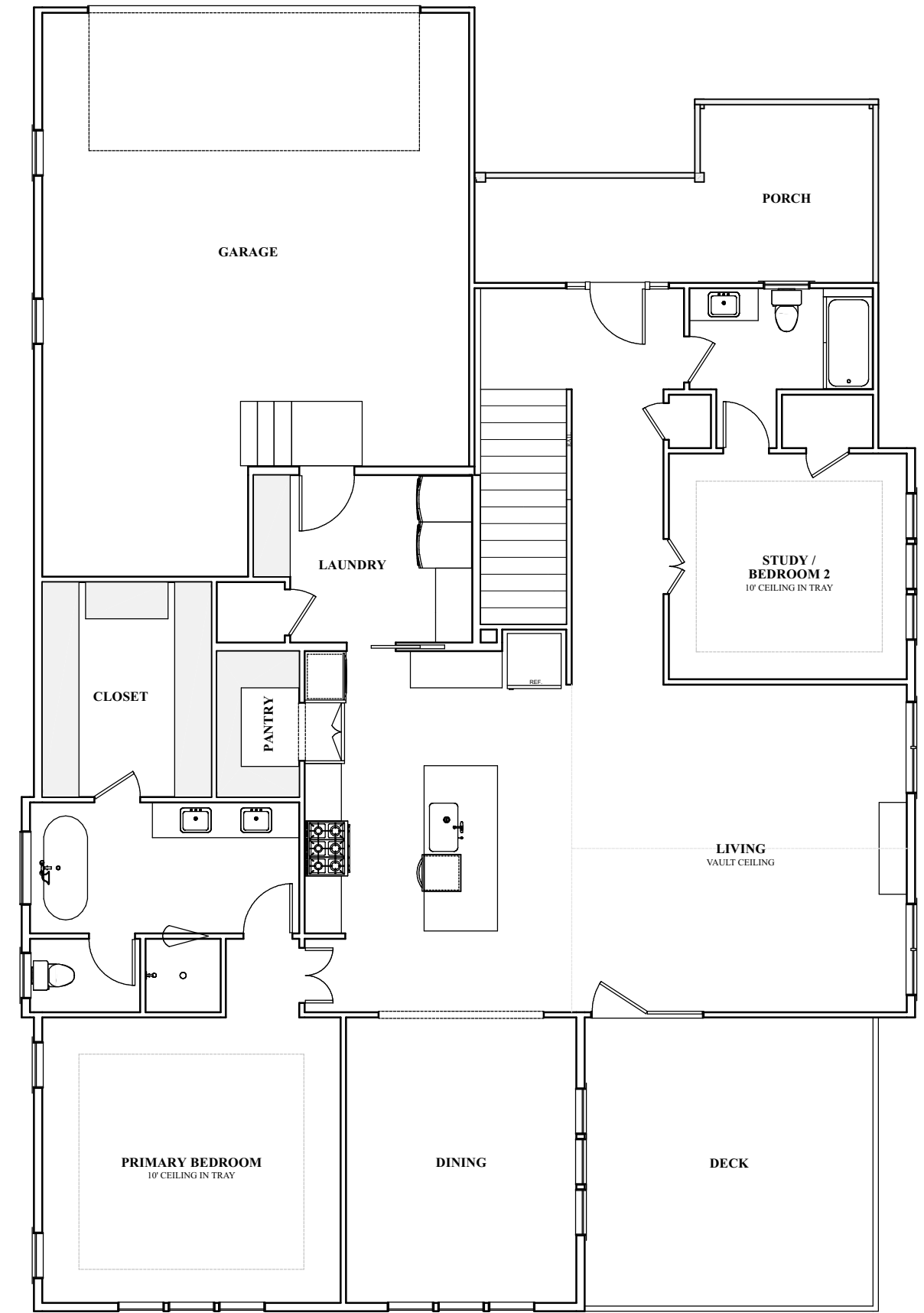
A-2

SQUARE FOOTAGES

Main Level	2,075
Lower Level Finish	1,500
Lower Level Unfinish	361
Total Finished	3,575
Garage	642
Covered Patio (North)	172
Covered Porch (South)	256
Lot	12,553



1 FOUNDATION
A-3 1/8" = 1'



1 MAIN LEVEL FLOOR PLAN
A-4 1/8" = 1'

RESIDENTIAL SITE PLAN

5101 PARKER COURT
LAWRENCE, KS 66049



LEGAL DESCRIPTION
BLOCK 1, LOT 5, WESTWOOD HILLS 10th PLAT
A SUBDIVISION IN THE CITY OF
LAWRENCE, DOUGLAS COUNTY, KANSAS.

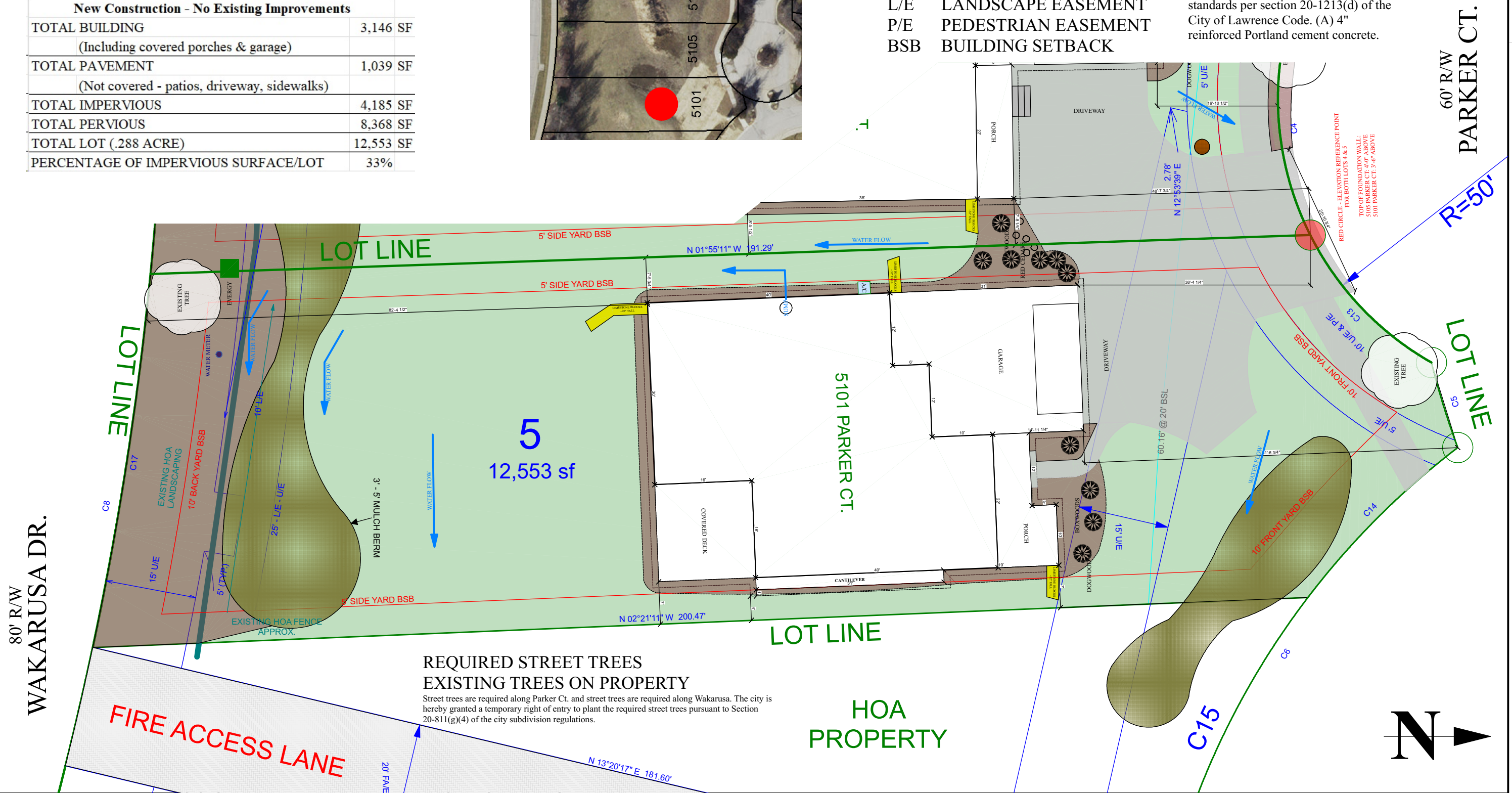
1 SITE PLAN
SP 1/16" = 1'

PROPERTY SURFACE SUMMARY	
New Construction - No Existing Improvements	
TOTAL BUILDING	3,146 SF
(Including covered porches & garage)	
TOTAL PAVEMENT	1,039 SF
(Not covered - patios, driveway, sidewalks)	
TOTAL IMPERVIOUS	4,185 SF
TOTAL PERVIOUS	8,368 SF
TOTAL LOT (.288 ACRE)	12,553 SF
PERCENTAGE OF IMPERVIOUS SURFACE/LOT	33%

- LEGEND**
- R/W RIGHT OF WAY
 - U/E UTILITY EASEMENT
 - D/E DRAINAGE EASEMENT
 - L/E LANDSCAPE EASEMENT
 - P/E PEDESTRIAN EASEMENT
 - BSB BUILDING SETBACK

EXISTING CURB CUT & APRON -
The driveway apron and curb cut
configuration is existing and shall NOT
meet city standards per section 16-302.1.

The driveway surface shall meet city
standards per section 20-1213(d) of the
City of Lawrence Code. (A) 4"
reinforced Portland cement concrete.



**REQUIRED STREET TREES
EXISTING TREES ON PROPERTY**

Street trees are required along Parker Ct. and street trees are required along Wakarusa. The city is hereby granted a temporary right of entry to plant the required street trees pursuant to Section 20-811(g)(4) of the city subdivision regulations.